



Inspection Report

Ron and/or Mary Johnson

Property Address:

11320 S. Cook St
Olathe KS 66061



Dan Bowers Company

**Dan Bowers, CMI, CRI, EDI
816.401.8899**



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Date: 6/5/2021	Time: 09:30 AM	Report ID: JoCo6- HC
Property: 11320 S. Cook St Olathe KS 66061	Customer: Ron and/or Mary Johnson	Real Estate Professional: Client is Agent

In the enclosed Report you will see our findings of our recent stucco inspection at the subject property.

As with any home there are always repairs, maintenance and upgrades one may choose to do. Sometimes even well built and well maintained homes have repairs or service needed. If you have any question about the home or need clarifications on items in the report, please call.

Please note that this report is **NOT** intended for use as a complete work order of every concern present in the home, **BUT** is intended to be a representative **SAMPLE** of improper or unreliable conditions that should be considered in selling or buying a home. **AND** it is our opinion that after reviewing the comments in this letter, the attached photo's, and then examining the house, a competent contractor(s) should be able to make a educated decision about any service, maintenance, remedial actions or modifications that need to be done.

Dan Bowers, CRI, CMI, EDI

Certified Residential Inspector, NAHI

Certified Master Inspector, InterNACHI

Certified Stucco / Moisture Analyst, EDI

Approximate Age Of Home: 18 Years p/Listing	Weather: Clear	Temperature: Mid 60's
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Rain / Snow or Ice in Past 2 Weeks: Yes	Type Building: Single Family House	Occupied: Yes
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Seller Disclosure: We DID NOT see a "Seller Disclosure" (this limits our access to known facts).	Stories / Levels: 2- Story	Soil Condition: Dry
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Client Present: NO	Realtor Present: NO	Owner Present: NO
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Sides With EIFS or Stucco Present: Front	Faces Mostly: North/East
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1. SCOPE AND PURPOSE

		Y	N	PAR	IMP	NA	NP	NVI
1.0	What Is the Scope and Purpose of The Inspection?	X						

Y N PAR IMP NA NP NVI

Y=Yes, N=No, PAR=Partial, IMP=Improper, NA=Not Applicable, NP=Not present, NVI=Not visible

1.0 It should be pointed out up front that few if any homes clad with **either Stucco or EIFS** in our area, have every architectural detail done perfectly. Most **Conventional Hardcoat Stucco** clad homes that we inspect, are missing one or more architectural details, or some of the details present were not done totally correctly by the most current industry standards. Many of these "imperfect details" have been there for years, and have never caused a problem. Others have, and we have no way of telling which ones will never be a problem OR which ones might become problematic, nor if they do create a problem when the problem might occur. Therefore we recommend you read the Report and then consult with a stucco contractor for his repair recommendations on what would be cost effective and most needed.

Per your request a limited moisture probing of the above property was performed for the purpose of determining within reasonable limits, the general condition of representative samples of the exterior stucco system at the above property. Our goal is to discover as much about the exterior stucco cladding system being reviewed as possible, given the limitations of time and accessibility. This report is a description of the visible and apparent condition of the applicable stucco cladding system and visible accessories.

When making this type inspection it is required that certain assumptions be made regarding the existing conditions. Some of these assumptions are not verifiable without expending additional sums of money, or destroying adequate and serviceable portions of the building or finish material. The condition of the hidden systems (insulation, framing, moisture barrier, mesh, fasteners, etc.) is not known. Because of the type of cladding system that certain stucco systems are, the initial signs of moisture entry may be concealed within the walls and not immediately visible.

Our examination is based on our interpretation of the industry standard of groups like NAHB (National Association of Home Builders), EIMA (EIFS Industry Members Association), EDI (Exterior Design Institute), and our opinion of accepted building practices and standard installation or repair techniques. Our inspections is primarily visual and limited by time, and accordingly conditions which would require inspection or testing by physical or destructive means (such as moisture probing), might not have been observed. Except as expressly stated in this report, no opinions were given as to any future conditions of the premises. Where opinions are given, it is understood these are our personal opinions only and are not to be construed as a prediction of future conditions nor a guaranty or warranty.

Note #1: If installed properly with the proper architectural details, **Conventional Stucco** is a sturdy and good quality material. Some concerns noted with these systems today may not have been required architectural details a few years ago, **OR** local code inspectors may not have enforced their presence. Some details however, were known and were left off or may be done incorrectly.

Note #2: See the attached photos to better understand our observations and comments.

Regards,

Dan Bowers, CMI, ACI, CRI, EDI

Exterior Design Certified 3rd Party Stucco Analyst

2. SYSTEM COMPONENTS

Styles & Materials

Type of Siding System:
Hardcoat Stucco

Type Mesh / Lath:
Metal

Window:
Casement
Thermal Pane
Clad
Other

Foundation:
Basement

Substrate:
Strand Board

We verified system components by:
Looking Under Wall

		Y	N	PAR	IMP	NA	NP	NVI
2.0	Is a Moisture Barrier Installed?							X
2.1	Are Vertical Control Joints Present?	X						
2.2	Are Horizontal Control Joints Present?		X		X			
2.3	Does Any Drive, Stoop, Walk, Flatwork, Etc Touch the Stucco?	X			X			
2.4	Are Roof Coverings Close To or Touching Stucco?		X					
2.5	Can You Verify the Stucco System Type?	X						

Y N PAR IMP NA NP NVI

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2.0 Due to the system finish out, the presence or absence of a moisture barrier under the stucco system could not be verified.

2.1 The typical architectural details for a Hardcoat Stucco System, such as used on this building, is the presence of **"Trim Accessory Joints"** at certain locations on the exterior of the building. These joints help control cracking of the stucco by anticipating certain types of movement of the structure and the shrinkage/compression of the wood framing members. Common locations on a structure to see these joints are at wall penetrations such as at doors, windows, etc. Their location is usually determined by the Design Architect or installer.

This detail was present at one or more locations on this building.

2.2 The typical architectural details for a Hardcoat Stucco System, such as on this building, are the presence of **"Control Joints"** at certain floor lines and other needed areas on the exterior of the structure. These joints help control cracking of the stucco caused by either: movement of the structure; or due to the shrinkage and compression of the wood framing members. **This detail was lacking at one or more locations** on this building, and we recommend verifying how this detail was handled with the **This detail was lacking** at one or more of the typical locations on a building, and we recommend verifying how the detail was handled with the builder, design architect, installer or your stucco repair contractor. See Example



2.2 Picture 1

2.3 (1) There was at least one or more locations where concrete slabs, masonry or other flatwork were too close and/or touching the stucco wall(s). This is a common but improper building practice. There should have been about a 2' space or gap where they meet to allow any future movement of the flatwork from causing cracks or moisture damage to the stucco walls. Stucco is porous and on drainage systems this can allow moisture to escape from behind the stucco.

See Examples

Solution if Ever Needed: Stucco industry details have flashing at the base of the wall or, alternatively, a 2" clearance above the hard surface with an integrated weep screed. Install proper flashing and/or weep screed per stucco manufacturer's recommended repair details and specifications.

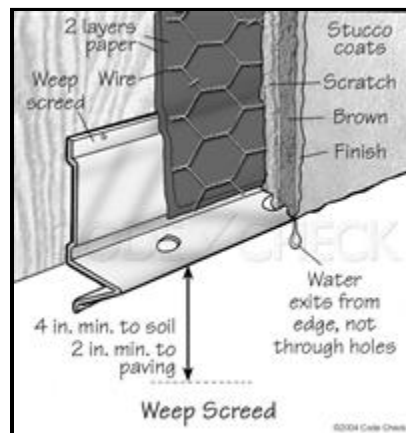


2.3 Picture 1



2.3 Picture 2

(2) Example of a Weep Screed



2.3 Picture 3

2.5 Hardcoat Stucco with Wood Trim, Wood Substrate, etc

This type of cementitious stucco is a compound material made out of sand, cement, resin and water. With this hardcoat type of stucco system, you could periodically get small cracks at the walls, around windows, doors, etc. Regularly seal around all edges (at windows, doors, utility breaches in the walls, roof lines not protected by overhangs, etc) with the proper type of caulking to prevent water penetration into the building and subsequent structural wood rot and/or spalling of the stucco.

3. CAULKING / SEALANTS

		Y	N	PAR	IMP	NA	NP	NVI
3.0	Is Caulking Satisfactory at Windows / Doors / Frames / Joints / Perimeters / Sashes / Trim?		X		X			
3.1	Is the Caulking Satisfactory Around all Breaches?		X		X			
3.2	Additional Comments	X						

Y N PAR IMP NA NP NVI

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3.0 Caulk or re-caulk windows exteriors. This includes the window frames and trim and where the frame or trim meets another building element (stucco, stone, wood, etc.).

Most caulking looks like it was good to start, but now has places where it is worn, etc. Have a competent stucco contractor caulk **AND** re-caulk any place below the soffit line where the stucco meets another building material, such as windows, doors, trim, siding, wood, mitre joints, masonry, flashing, etc.

See Example



3.0 Picture 1

3.1 Anywhere an electrical line, gas line, light fixture, plumbing hose bibb, etc. penetrate the exterior walls they are commonly called a "**breach location**" in the stucco world. Caulk or re-seal any place below the soffit line where stucco meets another material such as around light fixtures, electrical outlets, hose bibbs, gas lines, freon lines, dryer vents, cable TV openings, and other penetrations of the wall cladding materials.

3.2 Great care should be exercised in choosing the appropriate caulking. The manufacturer of your stucco system has recommended specific brands and types of sealant for various applications. Each caulking manufacturer has recommendations about how their particular caulk should be applied. It is important that these guidelines be followed in order to maximize the effectiveness of the caulk and enhance its ability to protect your home.

4. FLASHINGS

		Y	N	PAR	IMP	NA	NP	NVI
4.0	Do Window Areas Have Head Flashings?		X					
4.1	Are Window Sill Pan Flashings Present?							X
4.2	Do Door and Door Trim Have Head Flashings?					X		
4.3	Are Door Pan Flashings Present?					X		
4.4	Are Kickout Flashings Present?	X						
4.5	Do Trapped Valleys Have Diverter Flashing?	X						
4.6	Are All Trim Flashing Details Correct / Present?		X		X			
4.7	Is Stone or Stone Veneer Present?	X						

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4.0 There were some windows or doors or their trim with no visible flashings. Some windows or doors may have an integral flashing fin built into them. Once installed we can not see or verify this. Have the builder, installer, building designer or your stucco repair contractor verify how this detail was handled to determine if repair or modification is needed.

See Example



4.0 Picture 1

4.6 (1) Proper flashings were not visible at all recommended locations. There were various locations at one or more areas where missing and/or improper flashings were observed. Areas where flashings are typically installed are: over doors, windows, trim or decorative pieces extending out from the siding or house wall over 3/8". Flashing is installed to help prevent ponding moisture from entering the structure and/or causing water damage, etc. Modification of areas with missing or improper flashing is recommended. Repairs may include; creating end dams; sealing overlaps, caulking the bottoms, installing flashing; etc.

See Examples



4.6 Picture 1



4.6 Picture 2

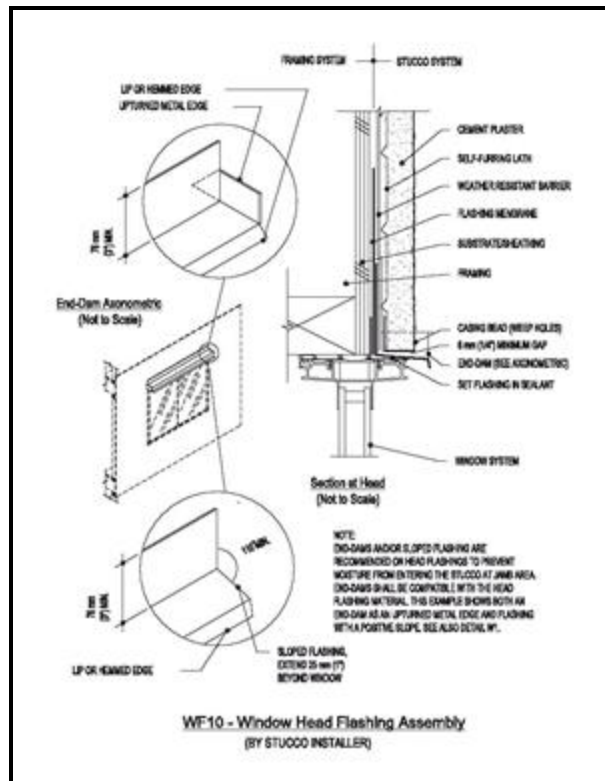


4.6 Picture 3



4.6 Picture 4

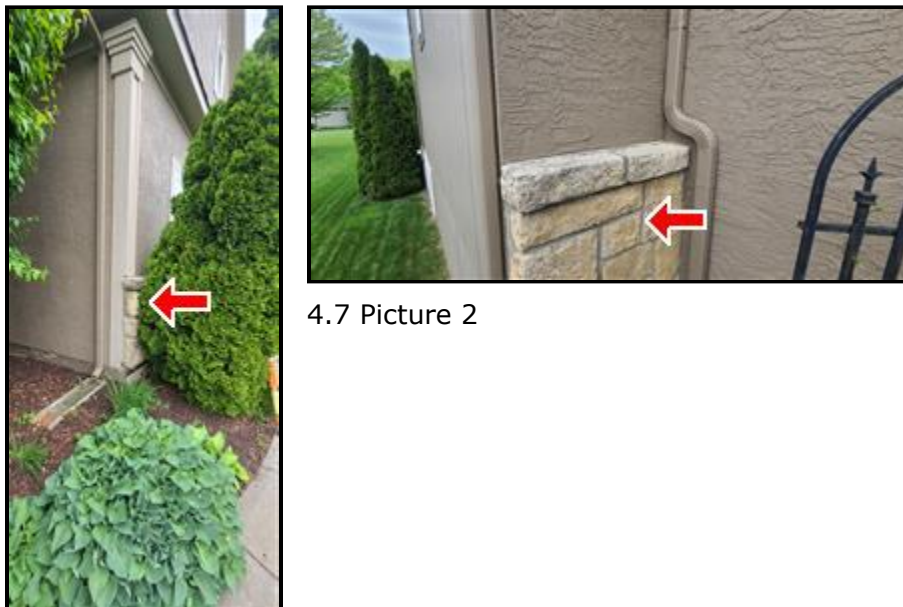
(2) Example of a Head Flashing Detail



4.6 Picture 5

4.7 A Masonry stone wall was present ~ NOT INSPECTED in Stucco Inspection - BUT it appears to have some weak details that can allow moisture penetration into wall cavities (like at the thru wall flashing, sealant, gaps at wall, etc). Contractor to Service as Needed,

See Examples.



4.7 Picture 2

4.7 Picture 1



4.7 Picture 3



4.7 Picture 4

5. WINDOWS AND DOORS

		Y	N	PAR	IMP	NA	NP	NVI
5.0	Are Door Details Potential Moisture Intrusion Spots?					X		
5.1	Are Caulk Joints Present at Windows, Doors and Other Recommended Areas?	X			X			

Y N PAR IMP NA NP NVI

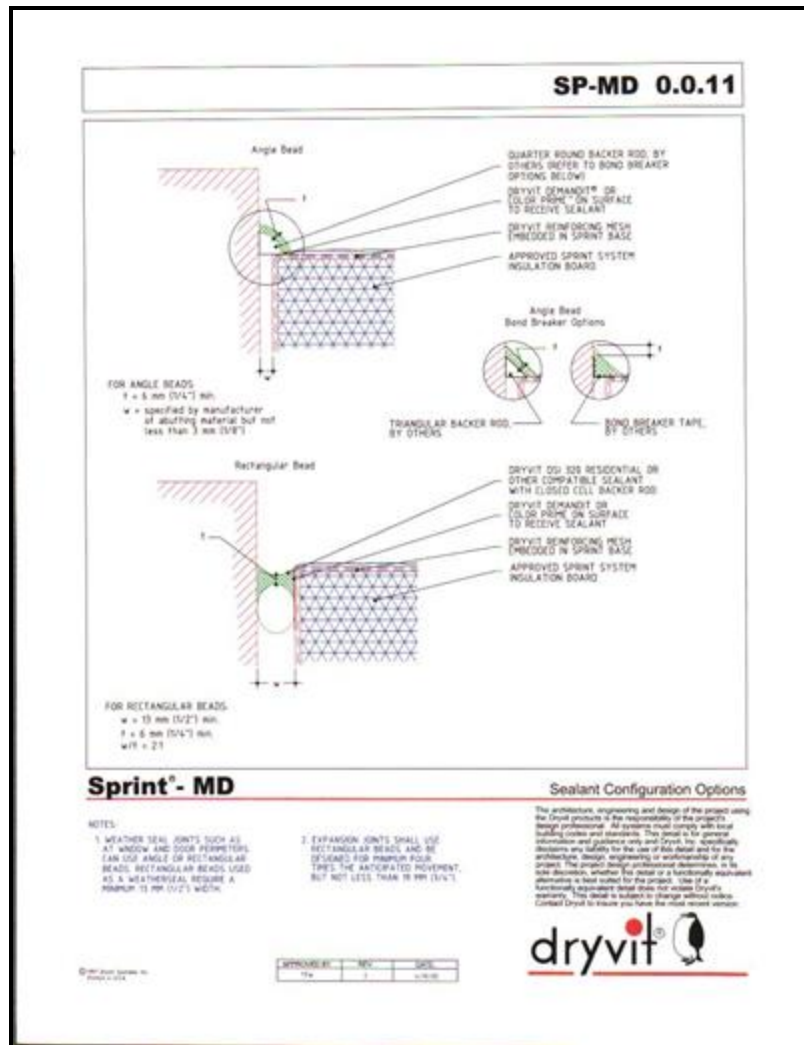
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5.1 (1) Caulk Joints were not visible at areas like windows, the junction of 2 different building materials, etc.

Typically on a house clad with stucco we should see a minimum 3/8" gap around areas like the windows, doors and the junctions of different building materials - a "backer rod" is then placed in the gap and this area is properly sealed - this detail did not appear to be visible on this home. We recommend contacting the builder and/or reviewing the original engineering details and blueprints to validate the absence or presence of this detail and to find out how this detail was handled. Repair or modifications recommended.

Solution: When there is no sealant at trim intersections with windows, doors, etc and no sealant, backer rod, or bond breaker noted at stucco or stone intersection with window trim Stucco and Stone industry details have a minimum 3/8" caulk joint with a closed-cell backer rod and sealant at all stucco or stone intersections with dissimilar materials.

(2) Example of a Caulk Joint



5.1 Picture 1

6. GUTTERS / DOWNSPOUTS

		Y	N	PAR	IMP	NA	NP	NVI
6.0	Are Gutters / Downspouts Present?	X						
6.1	Other Gutter / Diverter Comments?			X				

Y N PAR IMP NA NP NVI

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6.0 Always keep gutters clear of debris or blockage. If they hold water, they have the potential to allow moisture to leak backwards and into the stucco clad wall cavities below them.

6.1 A gutter / downspout would be recommended at this area.



6.1 Picture 1

7. MOISTURE

		Y	N	PAR	IMP	NA	NP	NVI
7.0	Are There Signs of Moisture Penetration?	X			X			
7.1	Is There Wood Rot / Moisture Deterioration Visible?	X			X			
7.2	When Moisture Probing Was Substrate Soft / Spongy?	X			X			

Y N PAR IMP NA NP NVI

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7.0 Elevated moisture readings **WERE found** during the course of the inspection. The industry standards considers moisture readings **over 19%** as being in the **unacceptable range** and elevated.

You have locations that are not showing excessive moisture, but conditions are present to cause moisture problems in the future. Actions should be taken now to correct these conditions before damage occurs.

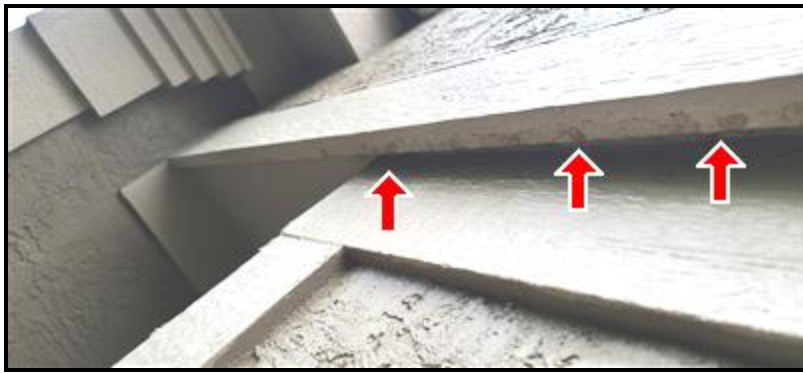
Please note that any moisture readings in the report, provided by the inspectors moisture meter(s) are accurate indicators of retained moisture at the area(s) tested at that given moment in time.

Moisture levels are affected by ambient weather conditions and other factors, and can result in variations between readings taken one day and readings taken at the same area on a different day. These readings are not represented to be the total and absolute moisture content of the entire wall surface(s) or throughout the entire thickness of the substrate.

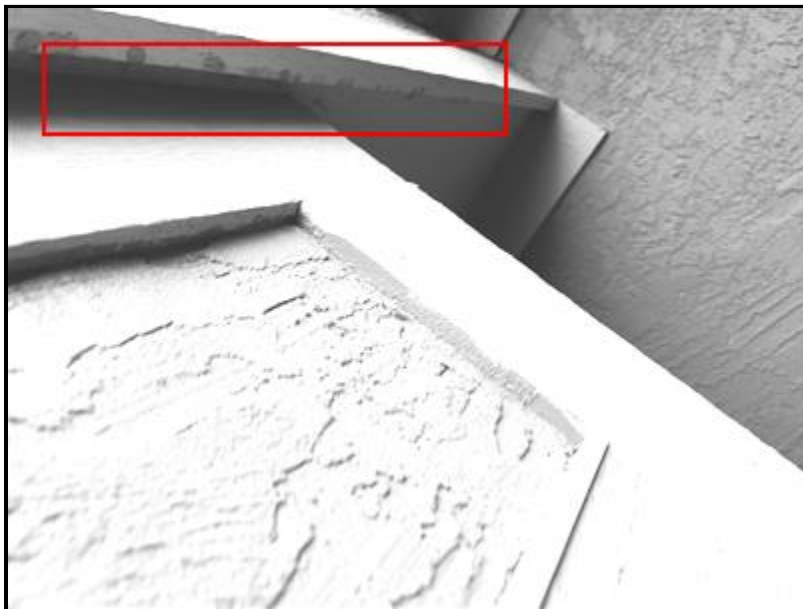
Locations to be probed and moisture testing (if penetration of the wall cavities was allowed) were determined according to the inspectors opinion of the probable areas of moisture intrusion. Our recommendations for corrections or improvements are given in accordance with the judgement and experience gained from industry knowledge and past inspections. No judgement is given for areas not tested and/or probed.

See Moisture Probing Results at SECTION 11 At Probing Pics / Also See Pic here of moisture staining on bottom of wood trim coming from behind stucco

Stucco Contractor to Service and Repair as Needed



7.0 Picture 1



7.0 Picture 2

7.1 Very High moisture - Rotten wood trim around some windows, etc - Replace



7.1 Picture 1



7.1 Picture 2

7.2 You have area's where the substrate appeared to be soft when probed. These area's may need to be explored further by a competent stucco contractor to determine the full extent of any damage present.

8. WOOD DESTROYING INSECTS AND ORGANISMS

		Y	N	PAR	IMP	NA	NP	NVI
8.0	Is The Stucco OR Foam Close to OR in Contact With The Ground?		X					
8.1	Are Bushes or Shrubs in Contact With Walls, Etc?			X				
8.2	Any There Signs of Wood Destroying Organisms?					X		

Y N PAR IMP NA NP NVI

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8.1 Bushes, shrubs or other foliage are close to **OR** rub the walls at some areas on the homes exterior. This can give pests an easy bridge into the home and can also allow for moisture damage. Always keep the bushes or other foliage back at least 12' or more from the walls.

8.2 We **DID NOT** not perform any WDI (wood destroying insect) inspection or evaluation at this property. A stucco inspection will not verify the absence or presence of wood destroying insects like termites, carpenter ants, etc. A state licensed WDI specialist can provide testing for you.

9. STUCCO SURFACE

		Y	N	PAR	IMP	NA	NP	NVI
9.0	Is There Flat Accents or Flat Trim?			X	X			
9.1	Is Caulking or Slope Satisfactory On Flat Accents?		X		X			
9.2	Is There Visible Stucco Damage?		X					
9.3	Are Surface Stains Present?			X	X			

Y N PAR IMP NA NP NVI

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9.0 There were flat accents present at various places on the house (the Stucco system and by the windows, etc). All flat accents need to be kept sealed and well caulked. Ideally Stucco would not have flat accents, but should have been sloped to allow moisture to run-off and prevent it from ponding on the accent.



9.0 Picture 1



9.0 Picture 2



9.0 Picture 3

9.1 Not all of the flat accents and/or quoins were well caulked, sealed, or sloped correctly. This can allow moisture to enter behind the stucco and cause moisture damage to the stucco and structure. Caulk, seal or slope all flat accents or trim, etc.

9.3 There are areas where stains are present on the Stucco walls and/or trim. These areas should be cleaned with a mild soap or cleaner recommended by the stucco manufacturer. Careful or no use of a high-pressure sprayer is advised Apply the cleaner using a sponge or brush.



9.3 Picture 1



9.3 Picture 2

10. MISCELLANEOUS

		Y	N	PAR	IMP	NA	NP	NVI
10.0	Industry Standards for Moisture Levels	X						
10.1	Moisture Meter Readings / Levels	X						
10.2	Are There Other Areas of Concern			X				
10.3	Stucco / Stone Veneer Contractors	X						
10.4	Suggested Actions	X						

Y N PAR IMP NA NP NVI

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10.0 The industry standard considers moisture readings **over 19%** as being in the **elevated range**.

Please note that any moisture readings in the report, provided by the inspectors moisture meter(s) are accurate indicators of retained moisture at the area(s) tested at that given moment in time. Moisture levels are affected by ambient weather conditions and other factors, and can result in variations between readings taken one day and readings taken at the same area on a different day. These readings are not represented to be the total and absolute moisture content of the entire wall surface(s) or throughout the entire thickness of the substrate.

Locations to be probed and moisture testing (if penetration of the wall cavities was allowed) were determined according to the inspectors opinion of the probable areas of moisture intrusion. The suggestions for corrections or improvements are given in accordance with the judgement and experience gained from industry knowledge and past inspections. No judgement is given for areas not tested and/or probed.

10.1	LOW	MEDIUM	HIGH	SETTINGS
Tramex Pinless "Wet Wall"	10-20	21-50	51-100	4-5
Tramex Probe Meter	<14	15-18	19>	2
Delmhorst Probe Meter	<14	15-18	19>	1

10.2 (1) REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:

A repair follow-up inspection should be conducted within 4 to 6 months after completion of any repairs to assess the effectiveness of the modifications for preventing moisture intrusion, wood rot and/or pest infestation or damage. **This is can be important.** Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining the home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a competent stucco contractor.

(2) We **DID NOT** perform any mold tests or mold / air sampling evaluations at this property.

An exterior stucco inspection can not verify the absence or presence of mold in wall cavities. Almost all homes have some form of mold spores present, most of which are not harmful. Mold however, can cause health or respiratory concerns for some people. Mold types and their significance can only be discovered through sampling and laboratory analysis. When you have either elevated moisture levels OR soft substrate it would be prudent to have a competent certified mold specialist provide testing or evaluation for you.

10.3 (1) Stucco / Stone Veneer Contractors - Below are the names of several local repair contractors that we have been told are professionally trained and experienced in maintenance, repair or remediation needs on stucco or stone veneer systems. You may also find other contractors by calling distributors, the homebuilder association or in the Yellow Pages.

- 1) Chuck Kincaid / (816) 510-6375 / (816) 509-4860
- 2) Stucco Repair / (913) 397-0601 (Randy Reynolds or Dennis Pearce)
- 3) Corey Cantrell (816) 918-2762
- 4) Val Brotherton @ Stone Creek Masonry (816) 694-6031

(2) A. Stucco Repair ... BALLPARK Rough Costs Until You Get a Competent Contractors Quote

- i. Kickout Flashing Installed \$325-\$425 ea
- ii. Damsill / Window or Door Pans \$125-\$150 p/lf
- iii. Caulk, Reseal, Etc (general / breeches) \$5 - \$6 p/lf
- iv. Caulk, Reseal Windows, Doors \$75-\$100 ea p/opening

- v. Deck Flashing Installed / Retrofitted \$40-\$50 p/lf
- vi. Weep Screed Retrofitted/Added \$45-\$55 p/lf
- vii. Re-Slope EIFS Accents, Trim, Etc \$25-\$30 p/lf
- viii. Thru Wall Flashing Installed / Retrofitted \$25-\$35 p/lf
- ix. Tear Off / Repair Small Areas (\$50-\$80 p/sf) \$450-\$650 ea
- x. Tear Off / Repair Large Areas (w/Scaffolding) \$1,500-\$2,000 ea
- xi. Damaged OSB (4x8 sheet - 3/8" to 7/16") \$35-\$45 p/sheet
- xii. Replace Damaged Wall Under Bow Window \$1,200-\$1,800

10.4 Contact at least 2-3 stucco contractors to obtain service or repair bids.

A stucco or other contractor may have their own preferred service actions, however in our opinion some of the more important issues we recommend are in the report and below:

- 1) Stucco Contractor to Recaulk / Reseal the home as needed; breeches, flashings, windows, trim, etc as needed.
- 2) Stucco Contractor to Evaluate / Repair any areas with high moisture / deterioration.
- 3) Stucco Contractor to Service / Install proper caulk joints where missing and applicable.
- 4) Stucco contractor to install proper gap/flushing/etc, etc at concrete to stucco contact areas.
- 5) Contractor to repair all wood / moisture deterioration as needed.
- 6) Install flashing where missing at flat trim and/or reslope applicable trim, etc.

7) Repair where possible but in our opinion it might be needed to open walls at some areas to determine the extent of any underlying damage and why its happened. *We recommend that your stucco contractor evaluate the conditions and then determine how best to address their issues for cost effectiveness and so this does not become a larger more costly issue down the road.*

11. PHOTOS AND MOISTURE READINGS

		Y	N	PAR	IMP	NA	NP	NVI
11.0	Front Photos / Moisture Probing	X						
11.1	Right Side Photos / Moisture Probing					X		
11.2	Rear Photos / Moisture Probing					X		
11.3	Left Side Photos / Moisture Probing					X		

Y N PAR IMP NA NP NVI

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11.0 (1) Front Side



11.0 Picture 1

(2) The moisture content when probed was: 9.9%

The Substrate appears SOLID where probed.



11.0 Picture 2

(3) The moisture content when probed was: 12.6%

The Substrate appears SOLID where probed.



11.0 Picture 3



11.0 Picture 4



11.0 Picture 5



11.0 Picture 6

(4) The moisture content when probed was: 18.2% (Getting High)

The Substrate still appears SOLID where probed.



11.0 Picture 7

(5) The moisture content when probed was: 42.6% (Very High)

The substrate was **SOFT** when probed.



11.0 Picture 8

(6) The moisture content when probed was: 11.4%

The Substrate appears **SOLID** where probed.



11.0 Picture 9



11.0 Picture 10



11.0 Picture 11

11.1 Right Side Not Probed / No Stucco

11.2 Rear Side Not Probed / No Stucco

11.3 Left Side Not Probed / No Stucco

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