



# Inspection Report

**Tom Thumb**

**Property Address:**  
4154 Anywhere Street  
Overland Park KS 66208



**Dan Bowers Company**

**Dan Bowers, CRI, CMI, EDI**  
**(816) 444.0507**



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<b>Date:</b> 5/31/2020	<b>Time:</b> 01:00 PM	<b>Report ID:</b> 4207 - EIFS
<b>Property:</b> 4154 Anywhere Street Overland Park KS 66208	<b>Customer:</b> Tom Thumb	<b>Real Estate Professional:</b> RALTER

In the enclosed Report you will see our findings of our recent stucco inspection at the subject property.

As with any home there are always repairs, maintenance and upgrades one may choose to do. Sometimes even well built and well maintained homes have repairs or service needed. If you have any question about the home or need clarifications on items in the report, please call.

Please note that this report is **NOT** intended for use as a complete work order of every concern present in the home, **BUT** is intended to be a representative **SAMPLE** of improper or unreliable conditions that should be considered in selling or buying a home. **AND** it is our opinion that after reviewing the comments in this letter, the attached photo's, and then examining the house, a competent contractor(s) should be able to make a educated decision about any service, maintenance, remedial actions or modifications that need to be done.

**Dan Bowers**, CRI, CMI, EDI

Certified Residential Inspector, NAHI

Certified Master Inspector, InterNACHI

Certified Stucco / Moisture Analyst, EDI

**Approximate Age Of Home:**

30 Years p/Listing

**Weather:**

Partly Cloudy

**Temperature:**

Mid-Upper 80's

**Rain / Snow or Ice in Past 2 Weeks:**

Yes / Several Rains

**Type Building:**

Single Family House

**Occupied:**

No

**Seller Disclosure:**

We saw a Sales Contract but DID NOT see a "Seller 1 Story Disclosure" (this limits our access to known facts on the property conditions).

**Stories / Levels:**

**Soil Condition:**

Damp

**Client Present:**

No

**Realtor Present:**

No

**Sides With EIFS or Stucco Present:**

All Sides

**Faces Mostly:**

West

# 1. SCOPE AND PURPOSE

		Y	N	PAR	IMP	NA	NP	NVI
<b>1.0</b>	<b>What Is the Scope and Purpose of The Inspection?</b>	X						

Y N PAR IMP NA NP NVI

Y=Yes, N=No, PAR=Partial, IMP=Improper, NA=Not Applicable, NP=Not present, NVI=Not visible

**1.0** It should be pointed out up front that few if any homes clad with **EIFS** in our area, have every architectural detail done perfectly. Most EIFS clad homes that we inspect, are missing one or more architectural details, or some of the details present were not done totally correctly by the most current industry standards. Many of these "imperfect details" have been there for years, and have never caused a problem. Others have, and we have no way of telling which ones will never be a problem OR which ones might become problematic, nor if they do create a problem when the problem might occur. Therefore we recommend you read the Report and then consult with a stucco contractor for his repair recommendations on what would be cost effective and most needed.

Per your request a limited moisture probing of the above property was performed for the purpose of determining within reasonable limits, the general condition of representative samples of the exterior stucco system at the above property. Our goal is to discover as much about the exterior stucco cladding system being reviewed as possible, given the limitations of time and accessibility. This report is a description of the visible and apparent condition of the applicable stucco cladding system and visible accessories.

When making this type inspection it is required that certain assumptions be made regarding the existing conditions. Some of these assumptions are not verifiable without expending additional sums of money, or destroying adequate and serviceable portions of the building or finish material. The condition of the hidden systems (insulation, framing, moisture barrier, mesh, fasteners, etc.) is not known. Because of the type of cladding system that certain stucco systems are, the initial signs of moisture entry may be concealed within the walls and not immediately visible.

Our examination is based on our interpretation of the industry standard of groups like NAHB (National Association of Home Builders), EIMA (EIFS Industry Members Association), EDI (Exterior Design Institute), and our opinion of accepted building practices and standard installation or repair techniques. Our inspections is primarily visual and limited by time, and accordingly conditions which would require inspection or testing by physical or destructive means (such as moisture probing), might not have been observed. Except as expressly stated in this report, no opinions were given as to any future conditions of the premises. Where opinions are given, it is understood these are our personal opinions only and are not to be construed as a prediction of future conditions nor a guaranty or warranty.

**Note #1:** If installed properly with the proper architectural details, **Conventional Stucco** or **EIFS** are a sturdy and good quality material. Some concerns noted with these systems today may not have been required architectural details a few years ago, **OR** local code inspectors may not have enforced their presence. Some details however, were known and were left off or may be done incorrectly.

**Note #2:** See the attached photos to better understand our observations and comments.

Regards,

**Dan Bowers, CMI, ACI, CRI, EDI**

Exterior Design Certified 3rd Party Stucco Analyst

**2. SYSTEM COMPONENTS**

**Styles & Materials**

**Type of Siding System:**  
EIFS

**Type Mesh / Lath:**  
Plastic

**Window:**  
Old Ones Look Like Wood  
New Look Like Vinyl  
Fixed  
Casement

**Foundation:**  
Basement

**Substrate:**  
Looks Like Foam Board Only  
Unknown / Not Visible

**Mesh Color:**  
Not Visible  
Painted Over

**We verified system components by:**  
Looking Under Wall  
Other

		Y	N	PAR	IMP	NA	NP	NVI
<b>2.0</b>	<b>Is a Moisture Barrier Installed?</b>							X
<b>2.1</b>	<b>Are Vertical Control Joints Present?</b>					X		
<b>2.2</b>	<b>Are Horizontal Control Joints Present?</b>	X						
<b>2.3</b>	<b>Do Any Drives, Stoops, Walks, Etc Touch the Stucco?</b>	X			X			
<b>2.4</b>	<b>Can You Verify the Stucco System Type?</b>	X						

Y N PAR IMP NA NP NVI

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**2.0** Due to the system finish out, the presence or absence of a moisture barrier under the stucco system could not be verified.

**2.2** The typical architectural details for an EIFS System, such as on this building, are the presence of "Control Joints" at floor lines and other needed areas on the exterior of the structure. These joints help control cracking of the stucco caused by either: movement of the structure; or due to the shrinkage and compression of the wood framing members. This detail was present at one or more locations on this building.

The need and location is usually determined by the Design Architect or installer.

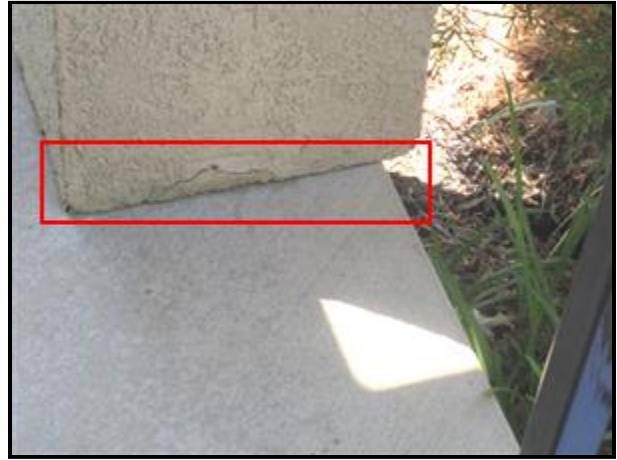
**2.3** There was at least one or more locations where concrete slabs were too close and/or touching the stucco wall as shown in the attached photos (stoop and patio). This is a common but improper building practice. There should have been a 2' space where they meet to allow any future movement of the slabs from causing cracks or moisture damage to the stucco walls. Stucco is porous and on drainage systems this can allow moisture to escape from behind the stucco.

Damage to the stucco has occurred at one or more places (stoop and patio) / Stucco Contractor to Repair.

**Solution:** Stucco industry details require flashing at the base of the wall or, alternatively, a 2" clearance above the hard surface with an integrated weep screed. Install proper flashing and/or weep screed per stucco manufacturer's recommended repair details and specifications.



2.3 Picture 1



2.3 Picture 2 Stoop



2.3 Picture 3 Patio

**2.4** EIFS with Ploy-Iso foam underneath. Bottoms of walls are backwrapped with small bits of foam and plastic mesh visible.



2.4 Picture 1

2.4 Picture 2



2.4 Picture 3

### 3. CAULKING / SEALANTS

		Y	N	PAR	IMP	NA	NP	NVI
<b>3.0</b>	<b>Is Caulking Satisfactory at Windows / Doors / Frames / Joints / Perimeters / Sashes / Trim?</b>	X			X			
<b>3.1</b>	<b>Is the Caulking Satisfactory Around all Breaches?</b>	X			X			
<b>3.2</b>	<b>Additional Comments</b>	X						

Y N PAR IMP NA NP NVI

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**3.0** Most caulking looks like it was good to start, but now has various places where it is worn, separating, the wrong type, split, etc (which can allow moisture intrusions). Have a competent stucco contractor caulk AND re-caulk any place below the soffit line where the stucco meets another material, such as windows, doors, trim, siding, wood, flashing, etc.

See Examples



3.0 Picture 1



3.0 Picture 2

**3.1** Anywhere an electrical line, gas line, light fixture, plumbing hose bibb, etc. penetrate the exterior walls they are commonly called a "breach location" in the stucco world. Although some breach locations were properly sealed, others were not. Caulk or re-seal any place below the soffit line where stucco meets another material such as around dryer vents, hose bibbs, electrical outlets or light fixtures, cable TV openings, freon lines, and other penetrations of the wall cladding materials.

See Examples



3.1 Picture 1



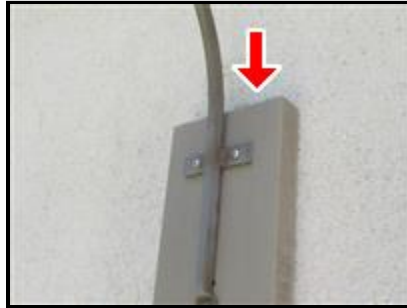
3.1 Picture 2



3.1 Picture 3



3.1 Picture 4



3.1 Picture 5



3.1 Picture 6

**3.2** Great care should be exercised in choosing the appropriate caulking. The manufacturer of your stucco system has recommended specific brands and types of sealant for various applications. Each caulking manufacturer has recommendations about how their particular caulk should be applied. It is important that these guidelines be followed in order to maximize the effectiveness of the caulk and enhance its ability to protect your home.

4. FLASHINGS

		Y	N	PAR	IMP	NA	NP	NVI
4.0	Is a Chimney Cap Installed on the Chimney(s)?	X			X			X
4.1	Is a Cricket / Roof Diverter Installed at the Chimney?	X			X			X
4.2	Do Window and Door Areas Have Head Flashings?			X				X
4.3	Are Window Sill Pan Flashings Present?	X			X			
4.4	Are Door Pan Flashings Present?	X						
4.5	Are Kickout Flashings Present?			X	X			
4.6	Do Trapped Valleys Have Diverter Flashing?					X		
4.7	Are Full Deck Flashings / Deck Details Correct?					X		
4.8	Are All Trim Flashing Details Correct / Present?			X	X			

Y N PAR IMP NA NP NVI

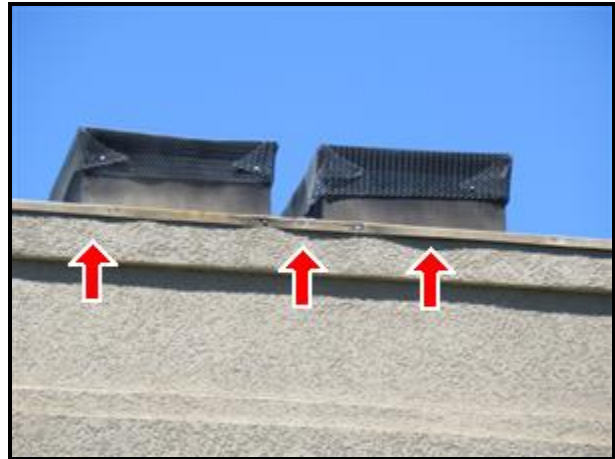
Y=Yes, N=No, PAR=Partial, IMP=Improper, NA=Not Applicable, NP=Not present, NVI=Not visible

**4.0** A chimney cap is present, but due to the height, the top of the chimney and/or components were not fully visible from the ground. You would need your home inspector, a roofer or chimney contractor to verify the condition of this.

There are unsealed gaps at the flashing overhangs. Stains are present below the cap. Service, check flashing and sealing recommended at chimney cap, cricket, saddle, etc.



4.0 Picture 1



4.0 Picture 2

**4.1** A cricket was present, but due to the height we could not verify the condition of the cricket or diverter behind the chimney. You would need your home inspector, a roofer or chimney contractor to verify the condition of this.

There are unsealed gaps at the chimney cricket, saddle, etc. Service and Correct.



4.1 Picture 1

4.2 Older wood windows yes ..... Newer windows are wrapped with metal or vinyl looking trim and head flashings were not visible.



4.2 Picture 1



4.2 Picture 2 Old / New Windows



4.2 Picture 3 New Unit

4.3 Water intrusion through the window assembly appears to be occurring at old wood windows. Specially designed window sill pan flashings are available to repair this. Recommend installing them OR install new vinyl windows at those areas.

4.5 (1) In a house clad with EIFS, there should be a "kickout flashing" installed at any area where a gutter meets a wall or at certain roof/wall junctions. At this home "kickout flashings" were not present at all recommended locations, BUT newer looking add-on ones were present at other areas that are not proper and have leaked (see Pic 9).

See Examples

A competent stucco contractor can install proper "kickout flashings" for about \$395-\$475 each. Missing or improperly installed "kickout flashings" have been a common moisture entry point on stucco homes. We recommend installing proper kickout flashings where applicable.



4.5 Picture 1 Kickout Not Visible



4.5 Picture 2 Kickout Not Visible



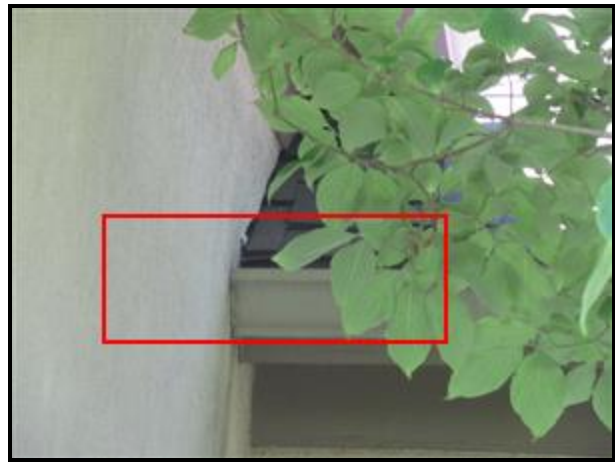
4.5 Picture 3 New Add-On Kickout



4.5 Picture 4 Kickout Not Visible



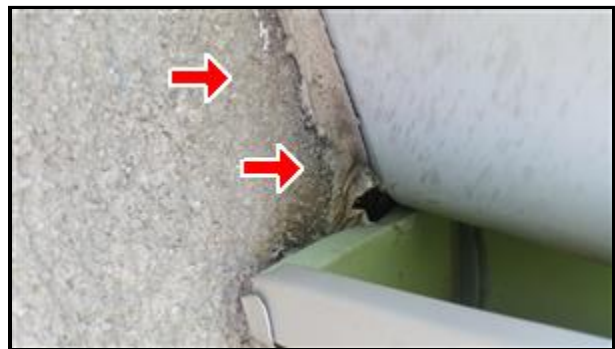
4.5 Picture 5 New Add-On



4.5 Picture 6 Kickout Not Visible



4.5 Picture 7 New Poor Kickout



4.5 Picture 8 New Poor Kickout

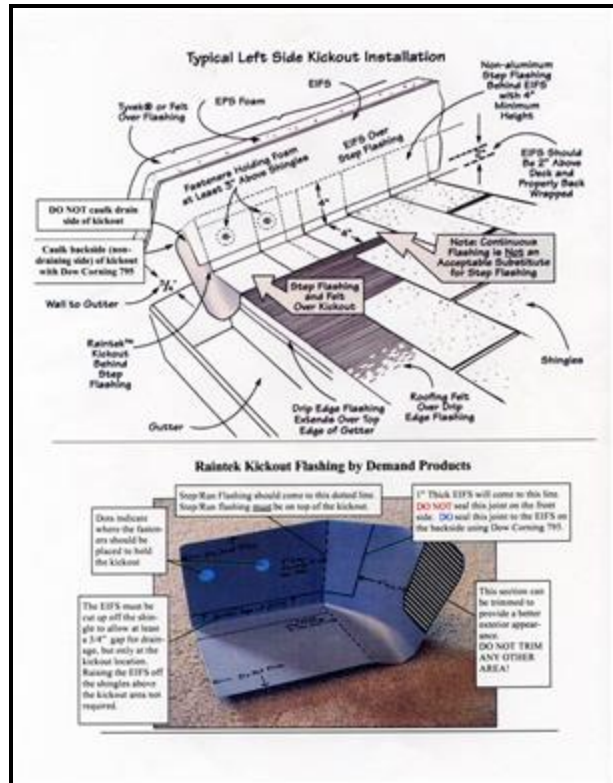


4.5 Picture 9

(2) Graphics of Proper Kickout Flashings ..... Not on this house



4.5 Picture 10



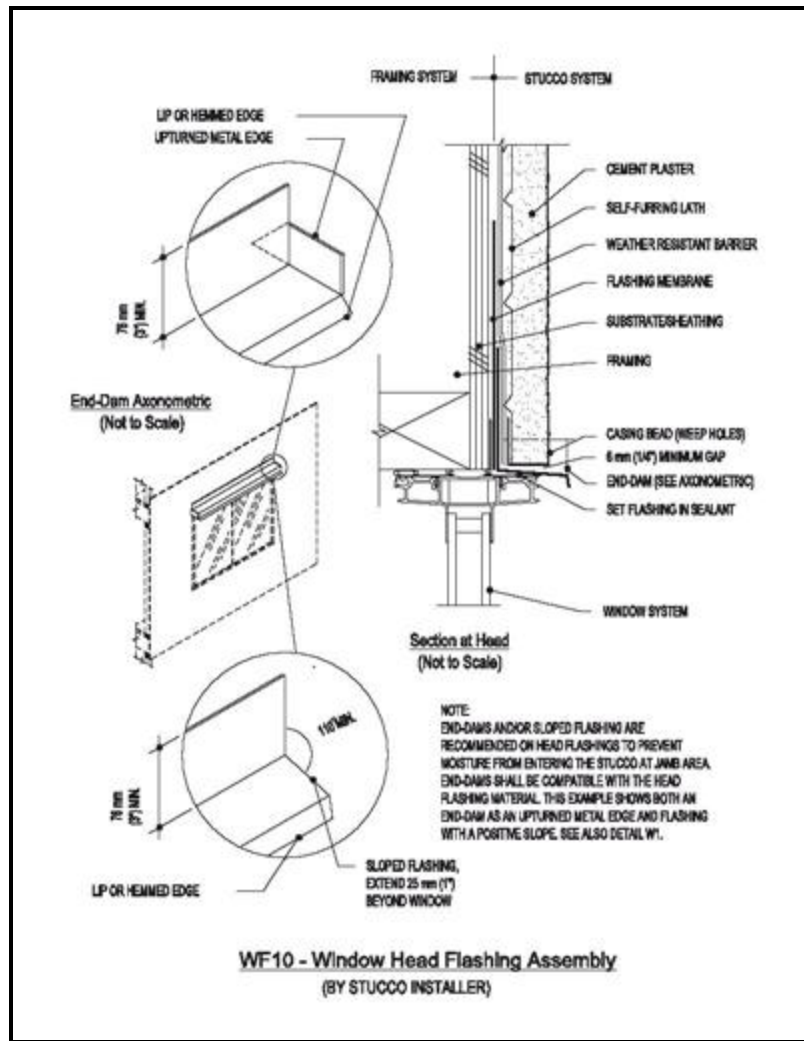
4.5 Picture 11

4.8 There were some trim pieces with raised flashing, unsealed flashing, gaps, no end dams. Service and Repair of these is suggested. Repairs may include; end dams created, sealing overlaps, caulking the bottoms, bent or raised flashing corrected, etc.

See Examples .....



4.8 Picture 1



4.8 Picture 2 Head Flashing

**5. WINDOWS AND DOORS**

		Y	N	PAR	IMP	NA	NP	NVI
<b>5.0</b>	<b>Are Caulk Joints Present at Windows, Doors and Other Recommended Areas?</b>		X		X			

Y N PAR IMP NA NP NVI

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**5.0** (1) Caulk Joints were not visible at areas like windows, doors, the junction of 2 different building materials, etc.

See Examples.....

Typically on a house clad with EIFS we should see a minimum 3/8" gap around areas like the windows, doors and the junctions of different building materials - a "backer rod" is then placed in the gap and this area is properly sealed - this detail did not appear to be visible on this home. We recommend contacting the builder and/or reviewing the original engineering details and blueprints to validate the absence or presence of this detail and to find out how this detail was handled.

Repair or modifications recommended.



5.0 Picture 1

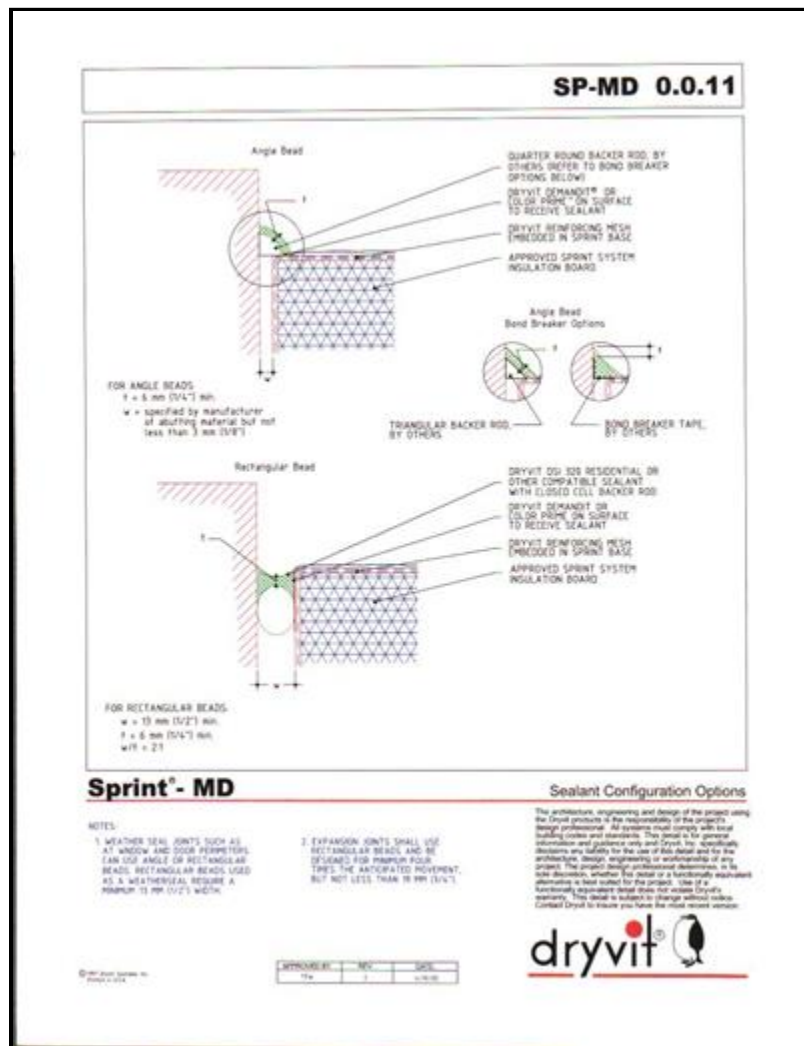


5.0 Picture 2



5.0 Picture 3

(2) Graphic of Caulk Joint



5.0 Picture 4

**6. GUTTERS / DOWNSPOUTS**

		Y	N	PAR	IMP	NA	NP	NVI
<b>6.0</b>	<b>Are Gutters / Downspouts Present?</b>	X						
<b>6.1</b>	<b>Other Gutter / Diverter Comments?</b>	X			X			

Y N PAR IMP NA NP NVI

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**6.0** Gutters and downspouts need to be kept cleared of any visible debris (dirt, mud, leaves, straw, etc.). If they hold water, they have the potential to allow moisture to leak backwards and into the stucco clad wall cavities below them.

**6.1** (1) Short Gutter Overlap ..... Re-flash the drip edge above left side bay window to divert water into lower gutter better (short gutter overlap looks like it has leaked before onto wood window / wall, etc).



6.1 Picture 1



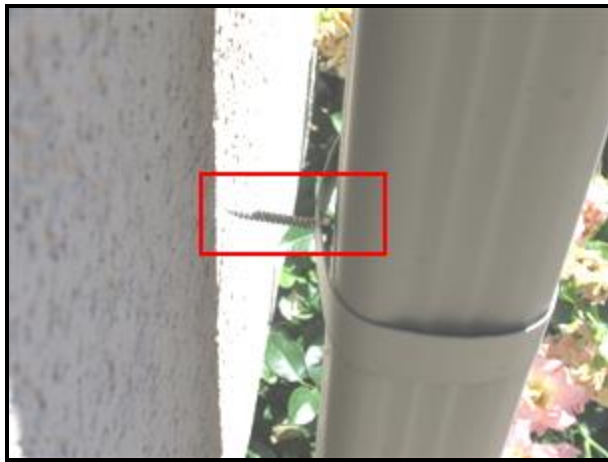
6.1 Picture 2



6.1 Picture 3

(2) Gutter downspouts were SCREWED into the EIFS. The preferred way that provides better protection from possible moisture intrusion, is the use of a clip-on bracket. The brackets are attached to the stucco cladding - sealed - and then screws are run into them.

See Examples .....



6.1 Picture 4



6.1 Picture 5

**7. MOISTURE**

		Y	N	PAR	IMP	NA	NP	NVI
<b>7.0</b>	<b>Are There Signs of Moisture Penetration?</b>			X				
<b>7.1</b>	<b>Is There Wood Rot / Moisture Deterioration Visible?</b>			X	X			

Y N PAR IMP NA NP NVI

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**7.0** (1) Due to the type of EIFS that is on this building, there did NOT appear to be a solid wood substrate present under the EIFS. On this type of stucco system, the poly-iso foam board is mounted directly to the studs and the EIFS is attached to the foam board with no plywood, OSB, stand board or other wood substrate present.

One system that used this frequently in the 1990's was called a Dryvit "Sprint System". Other manufacturers used this type system also. Although not seen a lot today it was an approved EIFS system.

This building appears to use a foam insulation board for substrate.... and the substrate is soft by design. Due to this type of substrate, our probe type moisture meter, touched only insulation in those areas. Unless the foam is wet right then, it may not show elevated readings. If desired these area's could be explored further by a competent stucco contractor to determine if any elevated readings or wall cavity damage is present inside the cavities.

When this type system allows water behind the stucco, it enters directly into the wall cavity. When testing for moisture content, we are limited by the ability of our moisture meters. Due to the lack of substrate, our probe type moisture meter, touched only insulation in some areas. This can give false readings.

Some of our readings were taken with a non-intrusive moisture meter. These are relative readings and not absolute percentage of moisture content. You have high relative readings that indicate moisture intrusion has occurred into the wall cavity at some point in time.

(2) Due to the type of substrate present on this building at some areas (foam board) .... the substrate is soft by design. Due to this type of substrate, our probe type moisture meter, touched only insulation in those areas. Unless the foam is wet right then, it may not show elevated readings. If desired these area's could be explored further by a competent stucco contractor to determine if any elevated readings or wall cavity damage is present inside the cavities.

**7.1** See Example ..... There have been areas that have been repaired, and there are areas where the wood needs sealed to protect from deterioration.



7.1 Picture 1

**8. WOOD DESTROYING INSECTS AND ORGANISMS**

		Y	N	PAR	IMP	NA	NP	NVI
<b>8.0</b>	<b>Is The Stucco OR Foam Close to OR in Contact With The Ground?</b>			X	X			
<b>8.1</b>	<b>Are Bushes or Shrubs in Contact With Stucco?</b>			X	X			
<b>8.2</b>	<b>Any There Signs of Wood Destroying Organisms?</b>					X		

Y N PAR IMP NA NP NVI

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**8.0** The stucco is too close to the ground at some location(s). The location(s) where the soil to stucco distance is less than 6" should be regraded to provide a proper gap of 6" or more.

**8.1** Bushes or other foliage rub the stucco walls at various locations around the homes exterior. This can give pests an easy bridge into the home and can also allow for moisture damage. Trim the bushes or other foliage back from the walls at least 18"to 24" to help prevent this.

See Examples .....



8.1 Picture 1



8.1 Picture 2



8.1 Picture 3



8.1 Picture 4



8.1 Picture 5



8.1 Picture 6

**8.2** We **DID NOT** not perform any WDI (wood destroying insect) inspection or evaluation at this property. A stucco inspection will not verify the absence or presence of wood destroying insects like termites, carpenter ants, etc.

There was a piece of damaged form lumber or wood on the right side of the front stoop. It is unknown to us if it moisture damage, wood rot or termite damage. A state licensed WDI specialist can provide testing for you.



8.2 Picture 1

**9. STUCCO SURFACE**

		Y	N	PAR	IMP	NA	NP	NVI
9.0	Is There Any Flat Accents or Flat Trim?			X				
9.1	Is There Visible Stucco Damage?			X	X			
9.2	Is Foam and/or Reinforcing Mesh Exposed?			X				
9.3	Are Shutters Present?		X					
9.4	Are Surface Stains Present?			X				

Y N PAR IMP NA NP NVI

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**9.0** Stucco manufacturers recommend sloped accent pieces or trim to prevent water or snow pooling there and ever becoming leaks. The accent piece on top of the garage doors are flat. Keep these areas well sealed at all times or modify these areas.

See Examples .....



9.0 Picture 1



9.0 Picture 2

**9.1** There were areas where minor impact damage, cracks and/or holes were noted. These may allow moisture intrusion and should be repaired.

A suggested repair in the future that should be budgeted for is the complete coating of the stucco with a elastomeric paint.

See Pics .....



9.1 Picture 1



9.1 Picture 2



9.1 Picture 3

9.2 A few small pieces at corners, but most is backwrapped

**Building Successfully With Dryvit Residential Systems #2 in a Series**

**Details Are The Key To Success**

## TERMINATIONS ABOVE GRADE

**FIG. 1**

INSULATION BOARD

SECONDARY BARRIER

DRAINAGE MEDIUM

REINFORCING MESH STAPLED OVER DRAINAGE MEDIUM

BOTTOM EDGE OF DRAINAGE MEDIUM IS LEFT FREE TO DRAIN

GRADE

DETAIL REINFORCING MESH EMBEDDED IN BASE COAT

SECONDARY BARRIER

DRAINAGE MEDIUM

REINFORCING MESH STAPLED OVER DRAINAGE MEDIUM

**FIG. 2**

REINFORCING MESH (AS SPECIFIED) EMBEDDED IN BASE COAT

FINISH

HOLD DRYVIT SYSTEM 2" FROM GRADE

GRADE

**Fig. 1)** This detail shows proper backwrapping which should be done at all terminations. The Detail mesh underlaps the reinforcing mesh on the face of the wall by a minimum of 2".

**Fig. 2)** The Dryvit system is terminated a minimum of 1" above finished grade.

**SUCCESSFUL BUILDERS SHARE THEIR KNOWLEDGE**  
 All good builders know how important it is to pay attention to details. In this series, Dryvit focuses on key details that successful builders follow when installing exterior insulation and finish systems. Use these drawings, along with Dryvit's complete system specifications and details, as a helpful guide for you and your subcontractors in planning and coordinating the critical interfaces between exterior building components.

**DRYVIT'S TECHNICAL SUPPORT IS TOPS**  
 Throughout North America, we have a field service staff to assist with technical issues. Our corporate engineering staff is prepared to review your Dryvit plans, make suggestions and support your efforts. Total customer satisfaction is our goal. Use our 800 number and benefit from the Dryvit Difference.

**MAKE SURE IT'S A DRYVIT SYSTEM**  
 We are the Number One EIFS manufacturer. We offer a number of exterior wall systems including Residential MD® and Sprint MD® Systems. You are off to a great start when you select a Dryvit system.

9.2 Picture 1



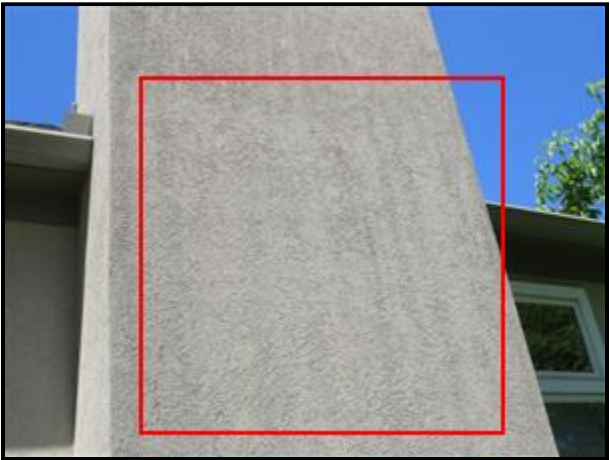
9.2 Picture 2

**9.4** There are areas where stains or rust spots are present on the EIFS walls and/or trim. These areas should be cleaned with a mild soap or cleaner recommended by the stucco manufacturer. Careful or no use of a high-pressure sprayer is advised. Apply the cleaner using a sponge or brush.

See Examples .....



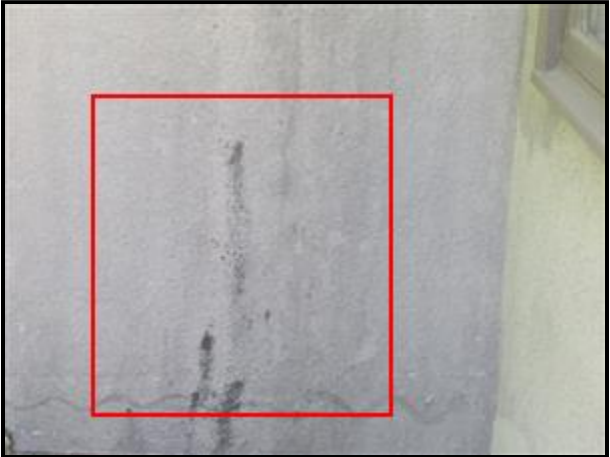
9.4 Picture 1 Front



9.4 Picture 2 Chimney



9.4 Picture 3 Under Missing Rear Kickout



9.4 Picture 4 Rear



9.4 Picture 5 Rust Spots

**10. MISCELLANEOUS**

		Y	N	PAR	IMP	NA	NP	NVI
<b>10.0</b>	<b>Industry Standards for Moisture Levels</b>	X						
<b>10.1</b>	<b>Moisture Meter Readings / Levels</b>	X						
<b>10.2</b>	<b>Are There Other Areas of Concern</b>	X						
<b>10.3</b>	<b>Stucco Contractors</b>	X						
<b>10.4</b>	<b>Suggested Actions</b>	X						

Y N PAR IMP NA NP NVI

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**10.0** The industry standard considers moisture readings **over 19%** as being in the **elevated range**.

Please note that any moisture readings in the report, provided by the inspectors moisture meter(s) are accurate indicators of retained moisture at the area(s) tested at that given moment in time. Moisture levels are affected by ambient weather conditions and other factors, and can result in variations between readings taken one day and readings taken at the same area on a different day. These readings are not represented to be the total and absolute moisture content of the entire wall surface(s) or throughout the entire thickness of the substrate.

Locations to be probed and moisture testing (if penetration of the wall cavities was allowed) were determined according to the inspectors opinion of the probable areas of moisture intrusion. The suggestions for corrections or improvements are given in accordance with the judgement and experience gained from industry knowledge and past inspections. No judgement is given for areas not tested and/or probed.

<b>10.1</b>	<b>LOW</b>	<b>MEDIUM</b>	<b>HIGH</b>	<b>SETTINGS</b>
Tramex Pinless "Wet Wall"	10-20	21-50	51-100	4-5
Tramex Probe Meter	<14	15-18	19>	2
Delmhorst Probe Meter	<14	15-18	19>	1

**10.2 (1) Because of the foam used as a substrate, when we probed we tried to go to areas where framing should be under the EIFS .....**

**(2) REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:**

A repair follow-up inspection should be conducted within 4 to 6 months after completion of any repairs to assess the effectiveness of the modifications for preventing moisture intrusion, wood rot and/or pest infestation or damage. **This is extremely important.** Annual inspections should also be scheduled to ensure that your EIFS system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining the home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a competent stucco repair contractor.

**10.3 Stucco Contractors** - Below are the names of several local repair contractors that we have been told are professionally trained and experienced in maintenance, repair or remediation needs on EIFS or stucco systems. You may also find other contractors by calling stucco distributors, the homebuilder association or in the Yellow Pages.

- 1) Chuck Kincaid / (816) 510-6375 / (816) 509-4860
- 2) Stucco Repair / (913) 397-0601 (Randy Reynolds or Dennis Pearce)
- 3) Corey Cantrell (816) 918-2762

**10.4** Contact at least three stucco contractors to obtain repair bids.

A licensed competent stucco contractor may have preferred service options and a home owner may chose to do less, however in our opinion some of the more important and priority service or repair issues are:

- 1) Stucco Contractor to Recaulk / Reseal the entire home, breeches, flashings, etc as needed.
- 2) Stucco Contractor to Repair any areas with cracks, dings, open gaps, holes, etc.
- 3) Trim bushes back 12" or more from EIFS / walls, and improve grade to provide a proper gap of 6" or more to EIFS / Foam / Wood.
- 4) Stucco Contractor to seal mitre joints on windows, doors, etc as needed.
- 5) Stucco Contractor to install proper kickout flashings at all missing kickout locations; AND Recaulk and/or reinstall the NEW add-on kickout flashings where not properly installed / sealed, etc.
- 6) Install sill pan flashings at all wood windows OR install new vinyl windows at those areas.
- 7) Re-flash the drip edge above left side bay window to divert water into lower gutter better (short gutter overlap looks like it has leaked before).
- 8) Stucco contractor to verify why some areas feel like they have missing foam substrate, while other areas felt soft.

**11. PHOTOS AND MOISTURE READINGS**

		Y	N	PAR	IMP	NA	NP	NVI
11.0	Front Photos / Moisture Probing	X						
11.1	Right Side Photos / Moisture Probing	X						
11.2	Rear Photos / Moisture Probing	X						
11.3	Left Side Photos / Moisture Probing	X						

Y N PAR IMP NA NP NVI

Y=Yes, N=No, PAR=Partial, IMP=Improper, NA=Not Applicable, NP=Not present, NVI=Not visible

**11.0 (1) Front Elevation**



11.0 Picture 1

(2) The moisture content when probed was: 14.7%

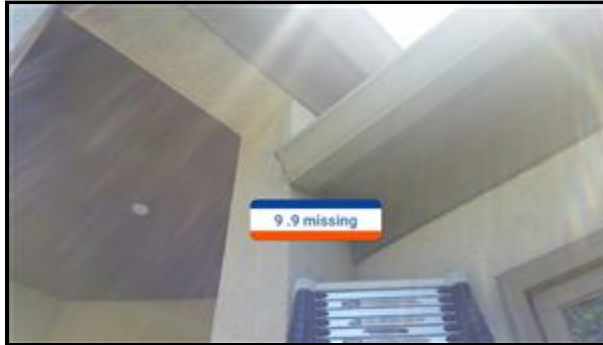
The substrate was **MISSING** when probed.



11.0 Picture 2

(3) The moisture content when probed was: 9.9%

The substrate was **MISSING** when probed.



11.0 Picture 3

(4) The moisture content when probed was: **19.4%**

The substrate was **MISSING** when probed.



11.0 Picture 4

**11.1** (1) Right Elevation



11.1 Picture 1

(2) The moisture content when probed was: 9.8%

The Substrate appears **SOFT** where probed.



11.1 Picture 2

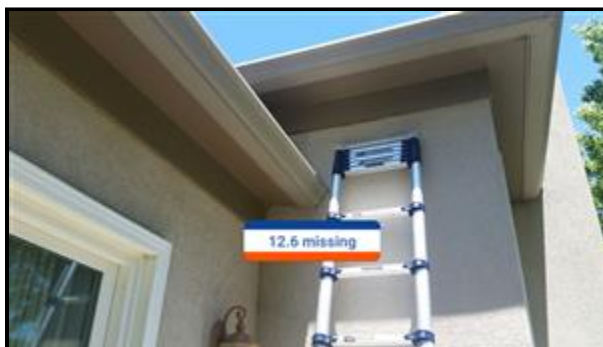
**11.2** (1) Rear Elevation



11.2 Picture 1

(2) The moisture content when probed was: 12.6%

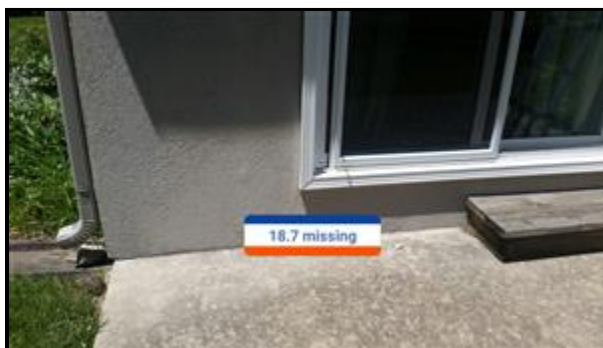
The Substrate appears **MISSING** where probed .



11.2 Picture 2

(3) The moisture content when probed was: **18.7% (very close to high)**

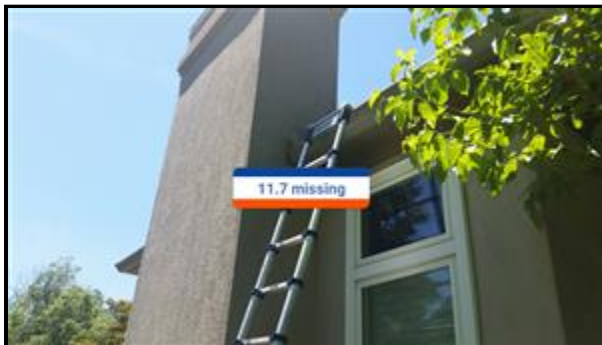
The Substrate appears **MISSING** where probed.



11.2 Picture 3

(4) The moisture content when probed was: 11.7%

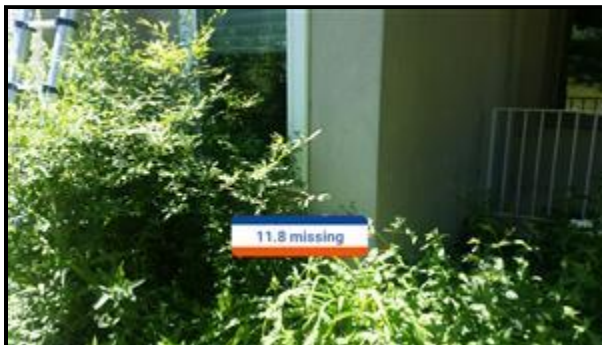
The Substrate appears **MISSING** where probed.



11.2 Picture 4

(5) The moisture content when probed was: 11.8%

The Substrate appears **MISSING** where probed.



11.2 Picture 5

(6) The moisture content when probed was: 19.1%

The Substrate appears **MISSING** where probed.



11.2 Picture 6

(7) The moisture content when probed was: **19.0%**

The Substrate appears **MISSING** where probed.



11.2 Picture 7

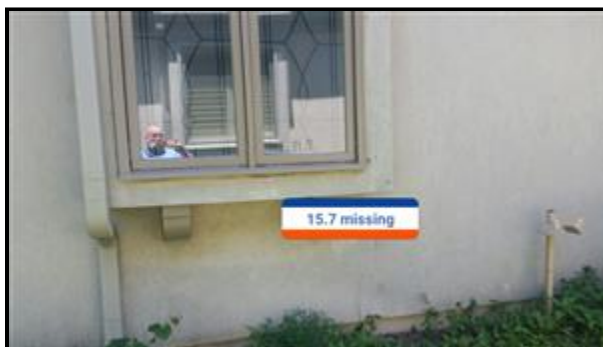
**11.3** (1) Left Elevation



11.3 Picture 1

(2) The moisture content when probed was: 15.7%

The Substrate appears **MISSING** where probed.



11.3 Picture 2

(3) The moisture content when probed was: 16.8%

The Substrate appears **MISSING** where probed.



11.3 Picture 3

*Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Dan Bowers Company*



## Dan Bowers Company

Dan Bowers, CRI, CMI, EDI

(816) 444.0507





# INVOICE

**Dan Bowers Company**  
**(816) 444.0507**  
**Inspected By: Dan Bowers, CRI, CMI,**  
**EDI**

**Inspection Date: 5/31/2020**  
**Report ID: 4207 - EIFS**

<b>Customer Info:</b>	<b>Inspection Property:</b>
Tom Thumb	4154 Anywhere Street Overland Park KS 66208
<b>Customer's Real Estate Professional:</b> RALTER	

### Inspection Fee:

Service	Price	Amount	Sub-Total
Stucco / EIFS Testing Moisture Probe & Analysis	695.00	1	695.00
			<b>Tax \$0.00</b>
			<b>Total Price \$695.00</b>

**Payment Method:** Escrow  
**Payment Status:** Invoice Sent  
**Note:** Thank You for Your Business